

City of Snohomish Pilchuck District Design Standards

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ARTICLE VIII. DESIGN STANDARDS

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Mixed-use development appropriate for Snohomish

14.212.800 Purpose

These design standards are intended to achieve a variety of goals, including:

- Reinforcing the architectural character of the community;
- Fostering visual compatibility between adjacent uses and throughout the Pilchuck District;
- Establishing relationships of buildings to the public street and sidewalk that create continuous, active, interesting, and intimate streetscapes;
- Ensuring that the visual bulk of new buildings maintains a pedestrian scale to preserve a small-town feel;
- Minimizing the prominence of parking within the urban landscape;
- Creating certainty for property owners and developers; and
- Promoting a strong sense of identity for the Pilchuck District neighborhood as a distinctive area of Snohomish.

14.212.810 Context

Economic and physical development of the Pilchuck District is envisioned to reflect and enhance the Snohomish community, which has been in existence for over 150 years. The current Pilchuck District reflects development over most of this period. This long history has resulted in wide range of architectural styles, building types, scales, uses, and adaptive reuses representing the eras in which they were developed or modified. This variety of urban

forms and architectural expressions help to establish the overall visual character of Snohomish. By virtue of the many design influences and practical accommodations, this character is eclectic while retaining a sense of history and small-town scale. The intent of these standards is to maintain and continue these qualities in new development.

Additionally, these standards implement the Comprehensive Plan policies that define the vision for the Pilchuck District as a neighborhood. These policies emphasize elements in the public and private frontages that foster a dynamic, interesting, and comfortable pedestrian landscape and a distinctive "sense of place" within the larger Snohomish community.

The regulatory context provides four separate zones within the Pilchuck District: Neighborhood Single Family, Neighborhood Townhouse, Neighborhood Center, and Neighborhood Civic. The character of each zone will vary with the type and intensity of land use identified. Zones designated for single-family and townhouse land uses are intended to retain a strongly residential appearance and scale consistent with the function. Elsewhere in the Pilchuck District, multi-story buildings containing dwellings, commercial, and civic uses will be integrated to create a generally continuous and somewhat more compact row of buildings along the sidewalk. The intent of these standards is to foster compatibility and continuity between adjacent uses and along streets to create a context where residents, businesses, and employees will co-exist and thrive.



Desirable buildings and spaces

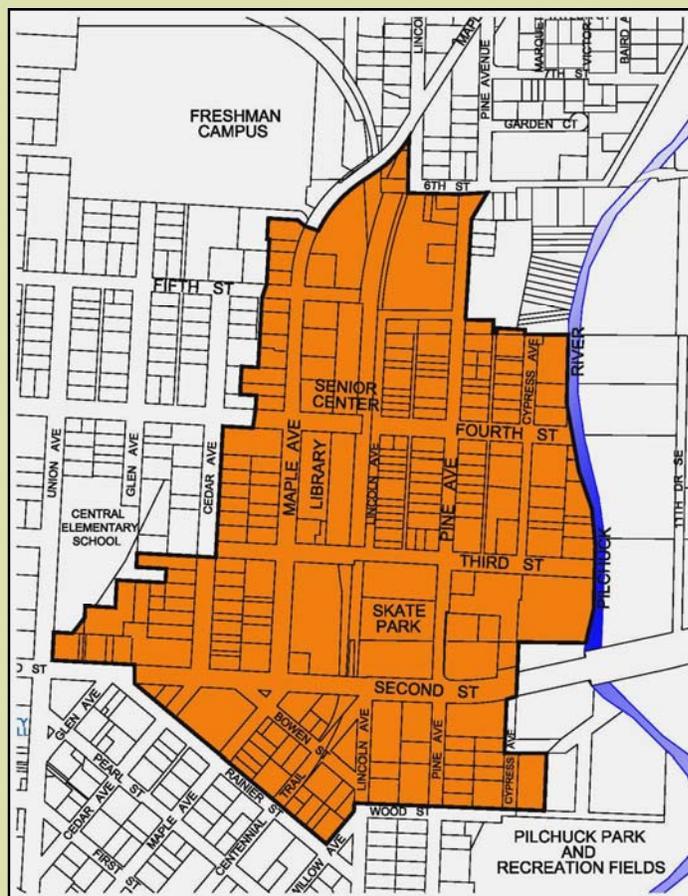
14.212.820 Applicability

The provisions of these design standards apply to the Pilchuck District land use designation on the Land Use Designation Map. These standards shall apply to all development and redevelopment within the Pilchuck District. The degree to which each standard applies to a development/redevelopment project shall be evaluated on a case-by-case basis in an effort to achieve an overall design that meets the purpose and intent of these standards and all applicable policies and regulations.

The design elements are intended to foster a cohesive pattern of development that supports pedestrian activity and more intensive residential and commercial development in the Pilchuck District. Illustrations of ways in which the intent of the standards can be achieved are provided in this illustrated version of the codified standards. **These images are meant only to be examples of the standards with which they are associated and may not be consistent with all standards. Further, they are not the only acceptable means of achieving the intent of the design standards.** Applicants are encouraged to consider designs, styles and techniques not pictured in the examples that comparably fulfill the intent of the design standards and further the goals of the Pilchuck District. Creativity within the parameters of the standards is encouraged.

A determination of equivalence may be requested for deviations from specific standards in accordance with SMC 14.212.170.

The illustrations on the following pages depict buildings and design elements desired for the Pilchuck District.



Pilchuck District



Buildings located near streets & sidewalks

Desirable Mixed-Use Development



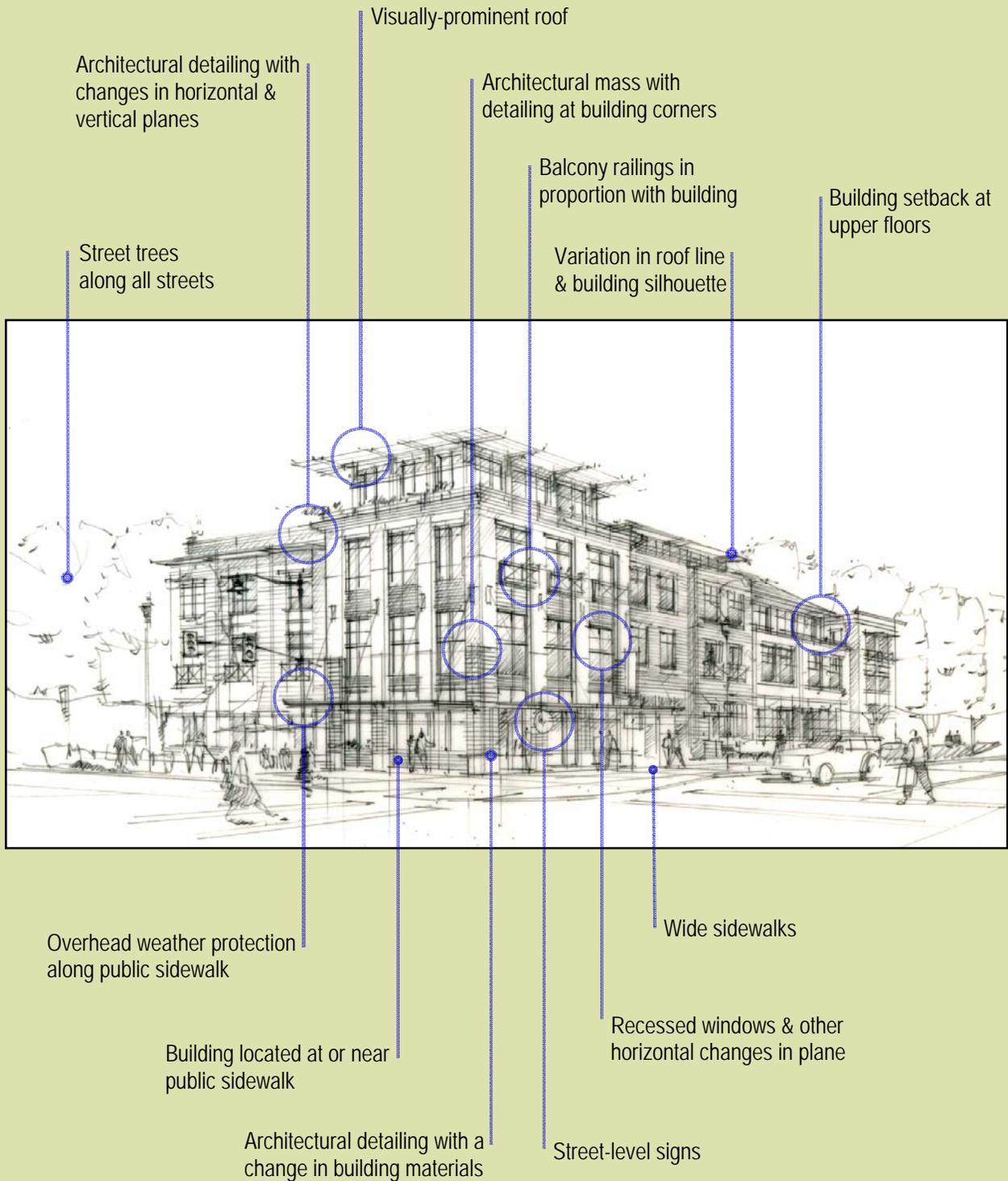
Desirable Townhouse Development



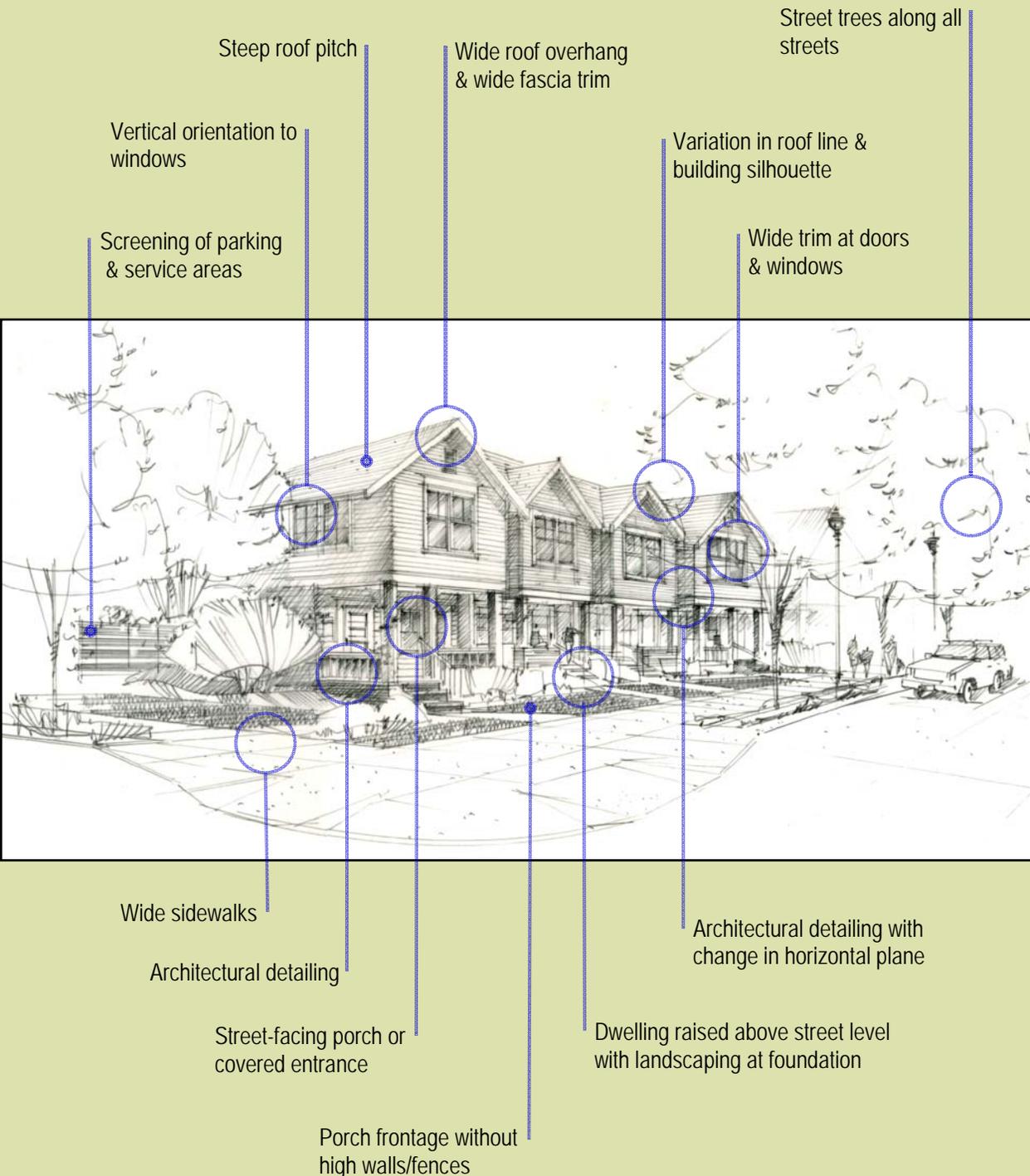
Desirable Single Family Development



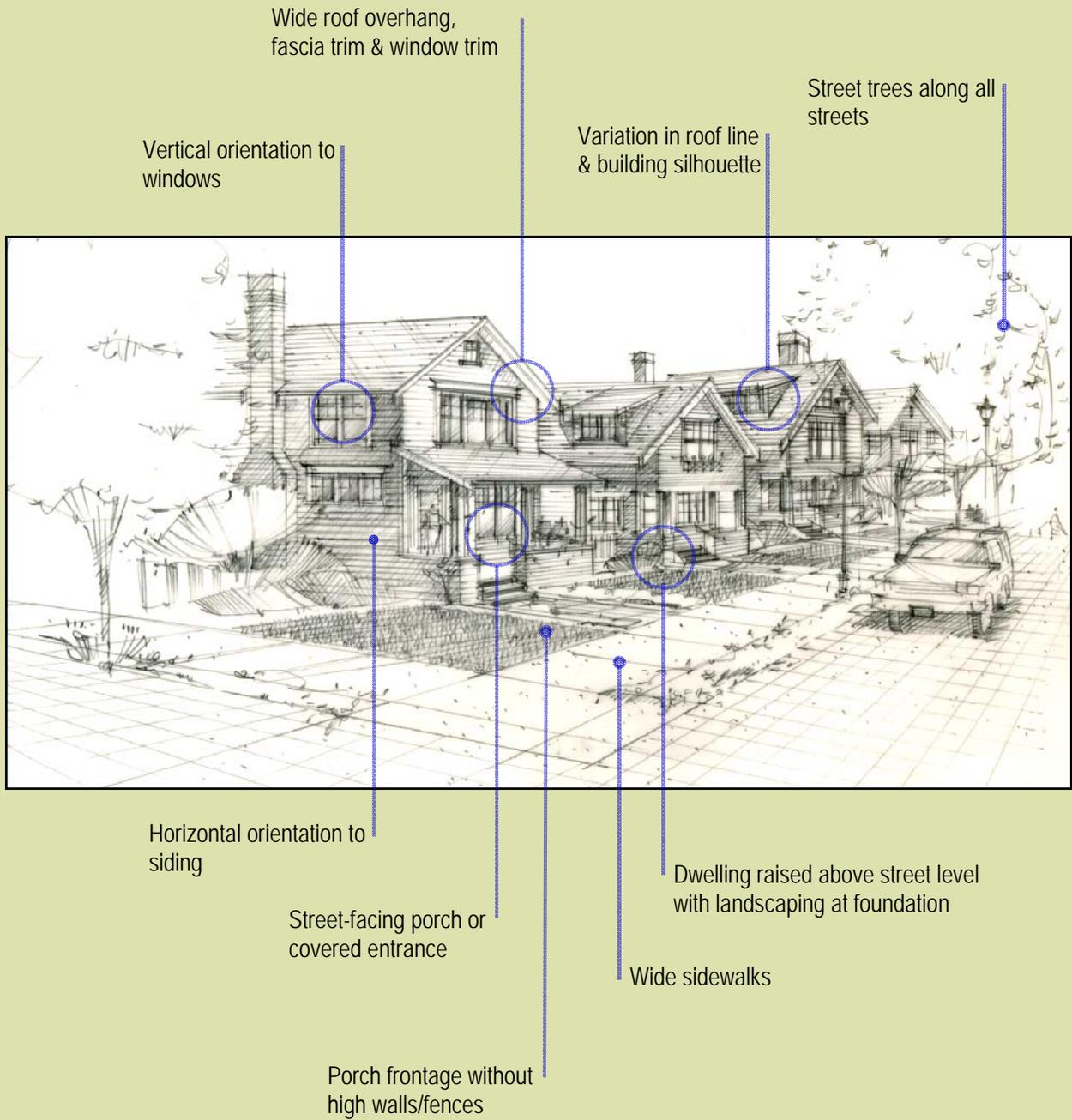
Mixed-Use Development—Desirable Design Elements



Townhouse Development—Desirable Design Elements



Single Family Development—Desirable Design Elements



14.212.830 Site Design- General

- A. Sites and buildings should be designed and developed in a coordinated and complementary manner, with recognition of the scale, proportions, and features of adjacent development that is itself consistent with the Pilchuck District standards.
- B. Pedestrian walkways from the public sidewalk to the primary door shall be clear, direct, and, in all cases, separate from vehicle access.



Direct pedestrian access to buildings



Parking separating building from street & sidewalk (not permitted)



Combined pedestrian & vehicular access (not permitted)

- C. As applicable, the location and design of pedestrian and bicycle facilities, utility and mechanical equipment, and service areas for loading, outdoor storage, and solid waste shall be considered in overall site design and clearly addressed in the application.
- D. Storage of materials, except displays of merchandise catering to a pedestrian clientele, shall be within enclosed buildings.
- E. Proposed methods to minimize the appearance of at-grade parking areas from the street and adjacent properties shall be clearly addressed in the application.
- F. Garden and screening walls, where used, shall exhibit detailing and artistry that may include top railings, caps, finials, etc.



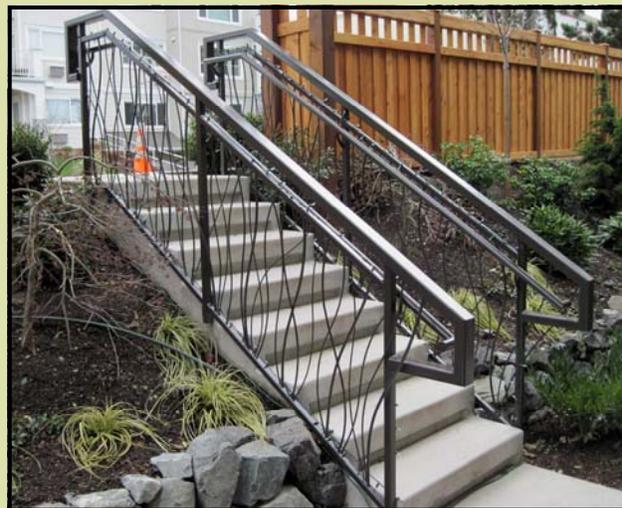
Secure bicycle parking/storage



Screening of storage, service, mechanical and utility areas



Fence & trellis exhibiting detailing & artistry



Fence, screening, trellis, etc. exhibiting detailing & artistry

14.212.840 Building Design - General

- A. Design proposals should exhibit professional design expertise, durable building materials, and integrated architectural detailing.
- B. Development shall incorporate elements that reflect the character of the Snohomish community. Justification of the consistency of proposed architectural style, elements, proportions, relationships, or materials with the local context may be required if antecedents within the community are not clear.
- C. Buildings shall be “four-sided”, meaning that all façades including side and rear facades should be considered visible (unless facing “blind” onto an adjacent party wall) and should be designed as an architectural façade composition.
- D. Architectural styles and stylistic references should be consistent and multiple styles should not be combined on one building.
- E. Façade massing elements shall be located and arranged according to the building’s architectural style and the function of interior spaces, and should respond to its site.
- F. Architectural detailing shall be incorporated on all buildings consistent with the style and scale of the principal building and with the character of the community. Detail elements appropriate to the



Singular, consistent architectural style



Knee brace



Wide fascia & trim



Rafter tail



Cupola



Parapet with cornice



Window mullion
(not false mullions)



Belt course



Vertical window



Dormer



Substantial eave &
gable projection

- G. Exterior surface materials shall be consistent with the traditional architectural materials and should contribute to the appearance of a 100-year functional building life. Appropriate materials include:
- Wood or long-lasting wood appearance materials, including cement fiber board but not vinyl or similar materials. Wood shakes and shingles, either square or decorative, shall be used only on single-family and townhouse buildings and their outbuildings.
 - Masonry, including brick and stone, but not faux stone. CMU is generally not appropriate, except that split-face CMU may be permitted in combination with other materials, e.g., as a base course;
 - Metal panels when reflective of historic industrial buildings (not appropriate for single-family and town house development);
 - Stucco may be used as a contrasting material to another primary surface material but shall not be the predominant surface material. Where used, joint patterns should reflect the overall composition of the building.
 - Poured-in-place concrete may be permitted on a limited basis where textured form liners, pigments, stains, and/or special aggregates are used to create visually interesting surfaces. To the degree possible, formwork should shape architectural profiles of walls that create bases, cornices, pilasters, panel frames, and other elements contributing to façade composition and human scale.
- H. Except ground-floor storefronts, windows shall reflect historic proportions and trim size and details. Window proportions shall be either square or vertically-oriented, with a minimum of 2:1 vertical to horizontal proportion typical. Greater vertical to horizontal proportions are encouraged. Windows inset from the exterior plane are strongly encouraged for all residential development and required for the Neighborhood Center zone. Sills shall be provided on all windows except storefronts. Permanent materials such as wood, precast concrete, and similar should be used for sills, window, and door trims rather than rigid foam, stucco, or cement plaster.
- I. Unifying architectural approaches shall be used to lay out a window pattern across a façade, such as aligning windows by using common sill or header lines, and/or aligned vertical centerlines of windows and doors



Windows used to create unifying horizontal and vertical elements across facades

between upper and lower floors. The design logic of the window composition within the context of the overall building design must be evident.

- J. Sliding doors shall not be located on a street-facing façade.
- K. Primary building entries shall be welcoming and a distinctive element of the façade. Weather protection at all building entries is strongly encouraged and required for street-facing entries.
- L. Unless no alternative is available, above-ground utility meters shall not be located on a street-facing building façade. Where no reasonable alternative exists, meters adjacent to or on a building façade and visible from a street or adjacent property shall be adequately screened with an architectural wall incorporated into the building design. Above-ground utility facilities, e.g., electrical cabinets, located between the sidewalk and a building shall



Overhead weather protection at building entrance and along public sidewalk

be screened with landscaping.

- M. Outdoor trash and recycling areas shall be located at the rear of the site, when possible, away from pedestrian areas, and screened on all sides. Screening enclosures shall match the materials and design elements of the primary structure.



Structure with mixed and incongruent architectural styles/elements. Also has recessed, arcade storefronts (not permitted)



Structure without historic context relevant to Snohomish, & without human scale (not permitted)

14.212.850 Standards specific to the Neighborhood Single Family zone

Intent: To maintain and enhance the small-lot, single-family character of the existing neighborhood through features that modulate scale and incorporate traditional proportions and materials.

- A. Primary roof faces and gables shall have a minimum pitch of 8:12, except porch roofs, which may be less.
- B. All façades visible from a public street shall include articulation of 22 feet horizontally or 12 feet vertically and shall be relieved through a change of plane, materials, detailing such as belly bands, projections such as bay windows, or alignment of other prominent features
- C. Roofed porches, where provided, shall have no dimension of less than 6 feet.
- D. Outbuildings shall incorporate the materials, features, and, as appropriate, proportions of the primary structure.



Street facade with modulation & variation



Outbuildings with architectural detailing

14.212.860 Standards specific to the Neighborhood Townhouse zone

Intent: To promote development of attached dwellings that is visually compatible with single-family development in proportions and features.

- A. Single-family buildings in the Neighborhood Townhouse zone shall be subject to the standards applicable to the Neighborhood Single Family zone.
- B. Non-residential primary structures shall be subject to all applicable standards in this section. Where functional requirements of the use are in conflict with these standards, the permit authority is authorized to allow flexibility in the application of the standards, provided that the scale and appearance of proposed site and building improvements are consistent with the intent of the zone and visually compatible with adjacent properties.



Facade modulation between townhouses



Facade modulation within townhouses



Facade with insufficient modulation (not permitted)



Modulation of both façade and roofline

- C. Townhouse dwellings shall be a minimum of 20 feet wide at the front façade.
- D. Townhouses shall employ one or more of the following methods of vertical modulation of street-facing facades to differentiate dwellings:
 - Setback variation between dwelling units. No more than two adjacent dwellings shall have the same setback without a setback variation of at least 1 foot.
 - Vertical modulation within each dwelling unit. The modulation shall be a minimum of 1 foot in depth and 4 feet in width, the sum of these dimensions shall be no less than 8 feet.
- E. Street-facing rooflines shall vary between adjacent dwelling units.

- F. Adjacent dwelling units shall be visually differentiated through the use of distinctive features and materials, although the individual designs should reflect the unity of the overall building design. Unifying compositional elements may include a common window header or sill.
- G. All facades visible from a public street shall include articulations resulting in an unrelieved run of no more than 20 feet horizontally and 12 feet vertically. Wall articulation may occur through a change of wall plane or materials, incorporation detailing such as belly bands, or projections such as bay windows, porches and balconies.
- H. Roofed porches, where provided, shall have a minimum dimension of 6 feet. This standard does not apply to minor entry landings.



- Facade modulation to express individual dwellings
- Varied rooflines
- Overall building modulation
- Direct pedestrian access
- Strong expression of gable using eave & fascia
- Building entrances visible from street
- Horizontal as well as vertical articulation
- Variation in exterior materials and colors to reduce appearance of bulk
- Vertical window proportions
- Vertical and horizontal fenestration order
- Landscaping used to soften views and appearance
- Successful blend of repetition and variety
- Weather protection and building entrances
- Steps up from sidewalk to differentiate public from private space
- Wide trim around doors and windows

- I. Primary roof faces and gables shall have a minimum pitch of 8:12, except porch roofs, which may be less.
- J. Outbuildings shall incorporate the materials, features, and proportions of the primary building.
- K. Walkways from the public sidewalk shall not be shared by more than 2 adjacent units. Elevated entries to adjacent units, such as porches or landings, should not directly adjoin.
- L. Light fixtures shall be provided for all entries.
- M. Landscaping between the public sidewalk and the front entry shall provide views between 3 and 8 feet above grade consistent with Community Policing Through Environmental Design (CPTED) principles.
- N. Buildings shall be designed to create a private outdoor space with a minimum area of 100 square feet and a minimum dimension of 10 feet for the residents of each unit.
- O. Ground-floors shall have a minimum of 150 square feet of living area per unit oriented to the street, exclusive of storage, shop, and utility areas, stairs, and garages.

14.212.870 Standards specific to the Neighborhood Center zone

Intent: To promote opportunities for a variety of creative residential and employment designs at varying scales that individually reinforce the community character and collectively contribute to a continuous streetscape and a vital and interesting pedestrian experience.

- A. Townhouse development in the Neighborhood Center zone shall be subject to the design standards for the Neighborhood Townhouse zone as applicable to the range of permitted private frontages in SMC 14.212.550.
- B. Private frontage areas should be designed for pedestrian interest and activity.
 - 1. If maintained at-grade with the sidewalk, such areas should appear as extensions of the adjacent sidewalk, although alternative paving materials, such as stamped concrete, bricks, pavers, or tile may be used. This area may be landscaped, provided that substantial pedestrian area is provided adjacent to all entries. If not landscaped, the frontage area may be used for retail display or seating area. Features that encourage use and enjoyment of the space should be incorporated.

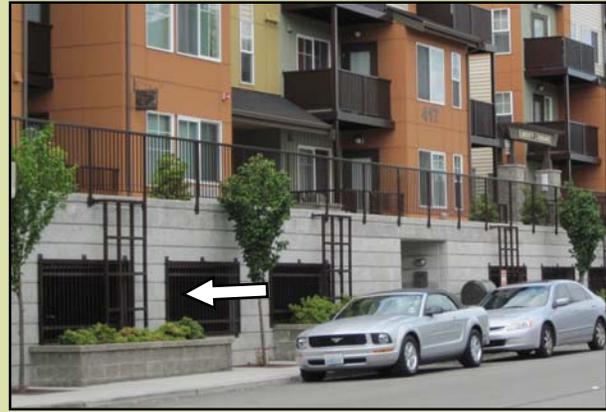


Private frontage used as seating area



Successful transition from public to private space without seating area

2. If the above-ground portion of a podium parking structure extends to or into a private frontage, the exterior podium wall shall not provide sidewalk views of vehicles, metal screening (unless highly decorative and providing significant screening), or blank concrete walls. Above-grade podium walls shall be enhanced with landscaping, architectural hardscape, or a combination, e.g., terraced planters, to provide an attractive view.



Interior parking screened from sidewalk/street

C. Building Massing and Articulation

Intent: Avoid monolithic street wall façades, provide pedestrian interest, and focus attention at the street level while offering architectural interest and continuity on the upper floors.

1. Buildings shall emphasize pedestrian scale with features that identify a break between the ground-floor and upper floors and focus attention on the street level. These features may include:
 - A projecting horizontal element such as a cornice, a belt course or a string course;
 - A distinct change of materials and texture with “heavier” appearing materials below;
 - Continuous clerestory windows;
 - An entry alcove (for commercial ground-floor uses) of at least 60 percent of the building width;

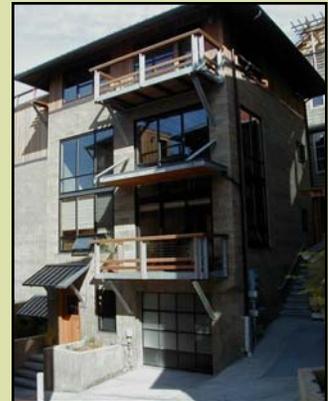


Large buildings with pedestrian detailing & scale





Buildings without architectural detailing, orientation to the street, or human scale (not permitted)



Buildings with architectural detailing, orientation to the street, and human scale



Architectural detailing at sidewalk level provides visual interest

- A change of façade plane.

A ground-level arcade is not typical for Snohomish and may be considered on a case by case basis. If used, arcade columns shall not be over 2 feet in diameter and should include architectural detailing.

2. Architectural identification of the primary building entrance should not extend above the first floor.



Horizontal modulation



3. Architectural relief features, in addition to windows, shall indicate breaks between floors. These features shall be more subtle than those distinguishing the first from the second floor, but should effectively break the appearance of vertical massing. Appropriate features may include a projection such as a belt course, a pattern of balconies, or other elements to achieve the intended result.
4. Articulation of street-facing facades shall be provided, at a minimum, for every 50 feet of building perimeter to minimize the appearance of horizontal massing. Façade articulation shall be achieved through pilasters, vertical recesses, change in wall plane, a distinct change of materials, or similar measures that achieve the intended result.
5. Horizontal ornament such as canopies, belt courses, string courses, or cornice lines should be carried across adjacent façades to unify various building masses and convey the sense of continuity between



Buildings with desired design elements & detailing

adjacent buildings.

6. Where permitted, parking structure walls facing public streets shall provide screening and interest at the street level. This may include green screens, artwork, or architectural features to resemble an occupied building. Non-access building openings at the street level, such as for ventilation, shall have a vertical dimension at least two-times the horizontal dimension. At-grade landscaping shall not be accepted as a substitute for creative articulation of wall surfaces.
7. Building levels in excess of 3 stories require a minimum setback of 10 feet behind the primary ground-floor façade plane. A projecting cornice or similar projecting element shall be provided at the plane break



Buildings with upper floors set back from first floor

above the third floor to emphasize the change in wall plane. The exterior area above the third floor may be designed as outdoor living space.

D. Windows and Entrances

Intent: To activate and lighten façades and express the interior of buildings on the exterior through the integration of windows and doors in an overall building composition. To reinforce the historic character of Snohomish through traditional window formats.

1. Curtain-wall window walls shall not be used except when used as ground-floor glazing or as “penthouse” glazing at the top floor of a 4-story or higher building.
2. Where dimensional material, such as brick, is used on the exterior building surface, windows shall be inset a minimum of 3 inches from the wall surface to add relief to the walls and as a reference to local architectural tradition. Where inset windows are not practicable, trim surrounding the window shall project from the façade plane a minimum of 1 inch and shall include a head trim or similar element with a greater projection to create a shadow line.
3. Each floor of a street-facing façade shall have glazing on a minimum of 20 percent of the wall area, except that ground-floor commercial spaces shall have a minimum glazed area equal to 50 percent of the ground-floor, street-facing façade and except parking structure façades, where permitted.
4. For ground-floor retail spaces, the lower edge of storefront windows shall be approximately 24 inches above the sidewalk to allow for a low bulkhead or kickplate. For ground-floor retail spaces, glazing should generally extend to or near the ceiling.
5. Storefronts shall not have vinyl window frames. If aluminum is used, it shall be painted or otherwise

colored a dark shade.

6. Commercial entrances are encouraged to include a wide alcove with the building entry at the center.
 7. Ground-floor residential uses are encouraged to elevate windows above the view of pedestrians on the sidewalk to create privacy for occupants.
 8. Building entry points for all upper story spaces shall be located on the principal or secondary frontage. For mixed-use buildings, entrances to residential, office, or other upper story uses shall be clearly distinguishable in form and location from retail entrances.
 9. All primary entry doors shall have extensive glazing, with a minimum of one foot between the glass and the bottom of the door. Wood or painted metal doors with traditional hardware are encouraged.
 10. Clear glass should be used. If tinted glazing is used, light tints and blue, green, or gray hues should be used. Reflective glazing and/or reflective adhesive films should not be used. Non reflective materials should be used for solar or heat control.
- E. Canopies or awnings that provide weather protection along all frontages are encouraged where consistent with the building's architectural style. Weather protection is required at all frontage building entries. Quarter-round awnings are strongly discouraged. Internally illuminated awnings are prohibited unless opaque. Awnings and canopies should be designed as components of the overall composition of the façade.



Appropriate trim (fake mullions not permitted)

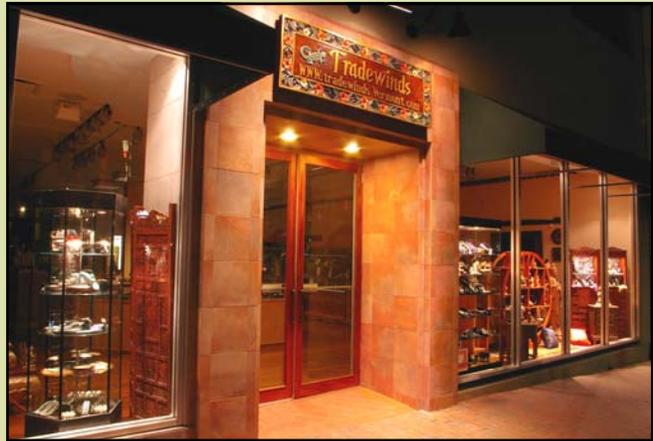


Desirable window design elements





- Desirable storefront design elements:
- Recessed entrance (alcove)
 - Weather protection along sidewalk
 - Large windows with view of interior
 - Clerestory windows
 - Appropriate landscaping
 - Pedestrian-scale signs
 - Windows raised above floor level
 - Lighting directed toward building
 - Architectural detailing
 - Doors with glazing and kick-plate
 - Decorative lighting and hardware



Storefronts with appropriate glazing

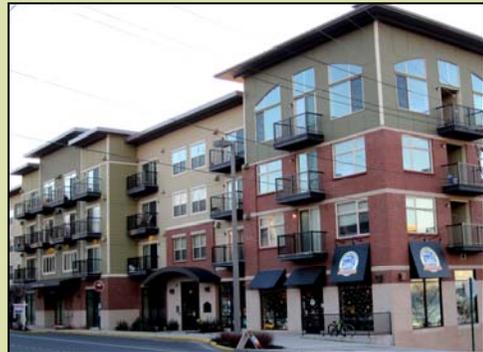
F. Balconies.

Intent: To ensure that balconies enhance but do not dominate building façades.

1. Balconies shall not be the predominant feature of a façade and shall be incorporated into and consistent with the overall building design.



Visually-dominating balconies (not permitted)



Facades with successful integration and articulation of balconies

2. Balconies shall be either less than 3 feet in depth (decorative) or greater than 5 feet (usable) and shall not project more than 3 feet from any adjacent wall plane or be located at building corners where they will dominate the façade.
3. Balcony railings shall be open rather than boxy and opaque. Railings and balusters shall be consistent with the architectural style of the building. If extending past the face of the building, railings and balusters shall be ornamental metal.
4. The use of roof-tops and upper-story horizontal building modulations as outdoor enjoyment areas is encouraged.

G. Lighting.

Intent: To provide safety and atmosphere through the use of exterior lighting while minimizing impacts on other



Visually dominant, boxy and opaque balcony surround or railing (not permitted)



Open balcony surround/railing

land uses.

1. All building entries shall provide adequate illumination for safety and for nighttime identification of the entry.
2. Where lighting is intended to wash across a building façade, it shall be shielded to limit illumination to the ground-floor.
3. All ground-floor facades shall include pedestrian-level lighting along sidewalks.
4. Light fixtures shall be consistent with, and articulate, the architectural style of the building.



Appropriately-illuminated storefronts



Pedestrian-scale lighting along sidewalks



Light fixtures with architectural and design references



Light fixtures lacking architectural detailing and expression (discouraged or not permitted)

- 5. Recessed and non-recessed can lights should be avoided on floors above the first floor or level.
- 6. All exterior light fixtures shall be glare-free and shielded from the sky, adjacent properties, and critical areas and their buffers.
- H. Roofs.

Intent: To ensure that rooflines and their architectural details create distinctive silhouettes and finished “tops” to building designs that reflect the community’s architectural traditions.

- 1. Flat roofs with parapets shall be used on all buildings over 3 stories. A fire-rescue refuge area should be included on an upper-story rooftop of buildings over 3 stories.
- 2. Roof-top mechanical equipment shall not be visible from the street or from another building of the same height. On buildings with flat roofs, roof-top equipment shall be screened by a continuous parapet. On buildings with pitched roofs, roof-top mechanical equipment shall be screened in wells within the roof structure.



Roof-top garden & outdoor living area



Upper story outdoor living area

3. All parapets shall be architecturally finished on both sides and colored a neutral hue consistent with the building color.
4. Each parapet shall incorporate a cornice consistent with the scale and level of detailing of historical examples from the community. Cornices shall project a minimum of 24 inches past the face of the building.
5. Pitched roofs shall have a minimum 8:12 pitch with a minimum eave projection of 24 inches. Eaves shall incorporate rafter ends at a dimension and frequency consistent with historic examples from the community.



Desirable roof design and detailing



Roofs without meaningful variation or architectural detailing (not permitted)

14.212.880 Standards specific to the Neighborhood Civic zone

Intent: To ensure that development of civic and other community uses are consistent with and further the overall vision for the Pilchuck District.

- A. Development in the Civic zone shall be subject to the design standards of the Neighborhood Center zone, with the exception of single-story structures adjacent to and serving the Centennial Trail, which shall be the design standards for the Neighborhood Single Family zone. ■



Desirable cornice design and detailing



Civic facilities exhibiting design elements appropriate for the Neighborhood Center zone