

Midtown Planning District Project



MIDTOWN
PLANNING
DISTRICT
SNOHOMISH

Task Force Meeting #4 (continued)
March 9, 2021

Agenda

1. Welcome and Roll Call
2. Continued Deliberations on Recommendations
3. Review Draft Recommendation Memo to Planning Commission
4. Mayor's Comments and Thank You
5. Adjournment

Building Frontage Standards

15. Building frontage standards should be established for streets that are either “Storefront”, “Landscaped”, “Mixed”, or “Undesignated” with maximum 0-foot setback for Storefront and 10-foot minimum setback for all other frontages with an opportunity to reduce to 5 feet.

Legend

 Midtown District

Block Frontage Standards

 Storefront

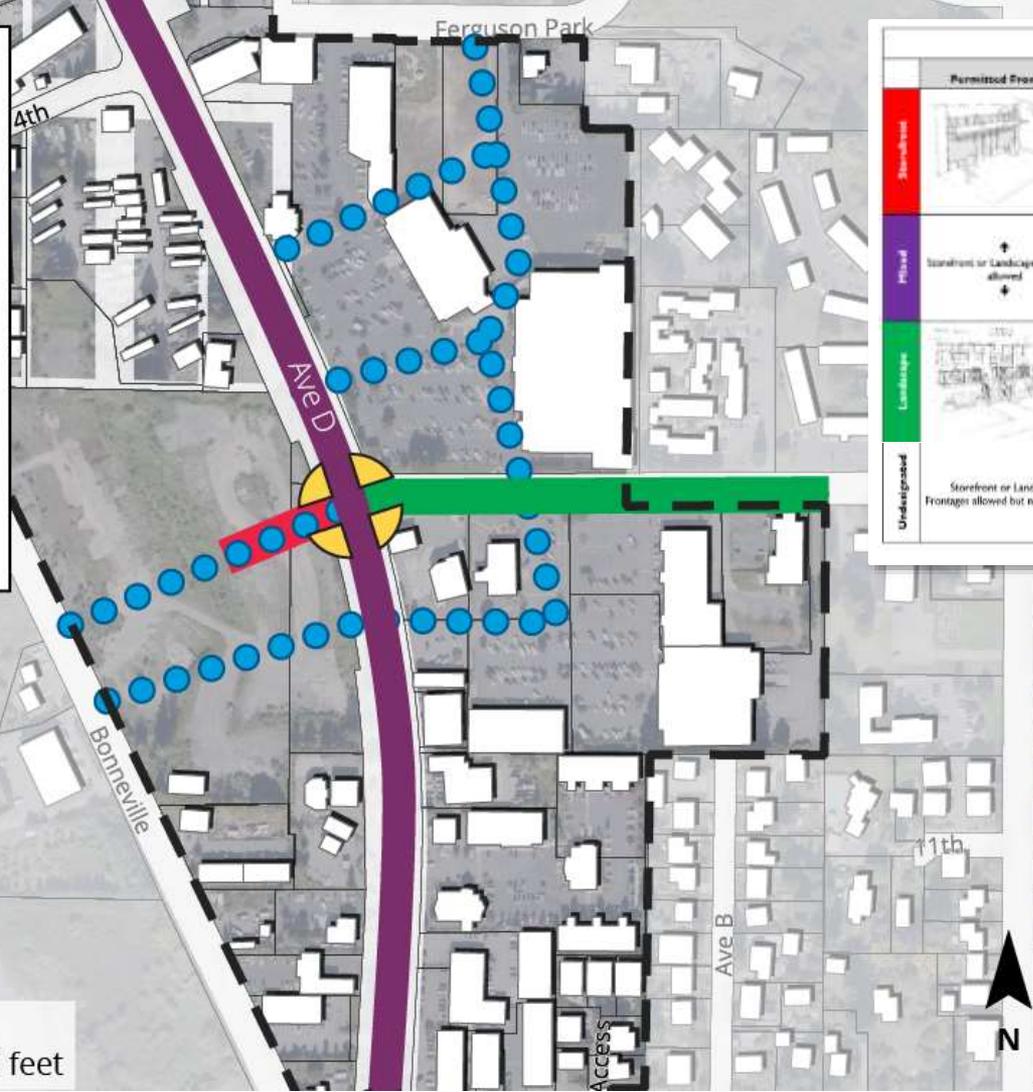
 Mixed

 Landscaped

 Undesignated

 High visibility corners

 Through-block connections



Summary of key block frontage types. EXAMPLE

EXAMPLE

	Permitted Frontage	Details
Storefront		<ul style="list-style-type: none"> • No new parking adjacent to the street. • Special transparency, awning protection, and entry requirements. • Maximum commercial sign height and depth. • No ground floor residential units except lofts for upper level units.
Mixed	Storefront or Landscaped Frontages allowed	<ul style="list-style-type: none"> • Parking must be to the side or rear of buildings. For multi-building developments, no more than 50% of frontage may be parking. • Landscaping to soften facades of non-storefronts and buffer parking areas. • Minimum facade transparency requirements per use and setback.
Landscaped		<ul style="list-style-type: none"> • Parking must be to the side or rear of buildings. For multi-building developments, no more than 50% of frontage may be parking. • Landscaping to soften facades and buffer parking areas.
Undesignated	Storefront or Landscaped Frontages allowed but not required	<ul style="list-style-type: none"> • Landscaping to soften facades of non-storefronts and buffer parking areas. • Minimum facade transparency requirements per use and setback.

0 200 400 800 feet
March 10, 2021



Legend

 Midtown District

Block Frontage Standards

 Storefront

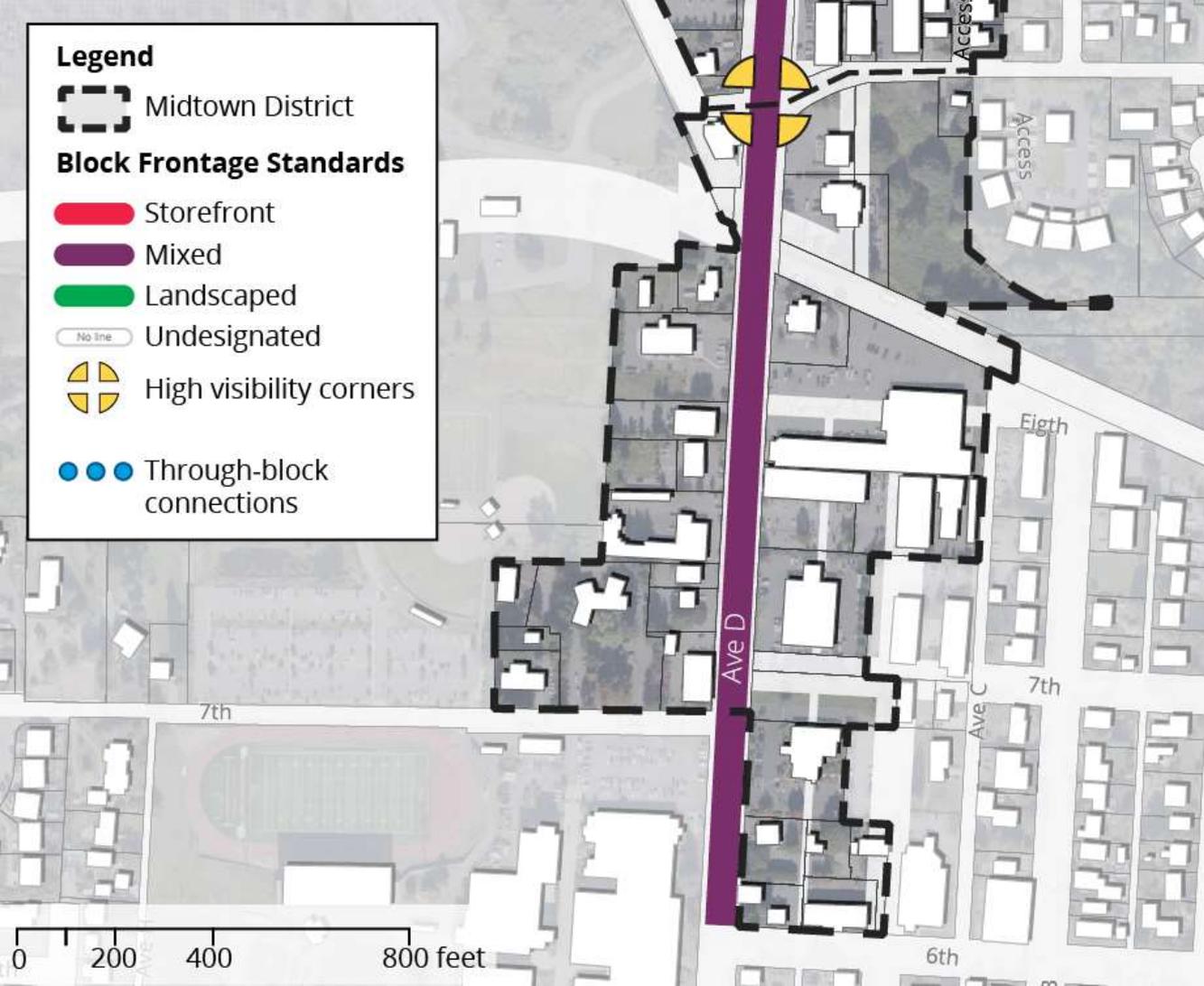
 Mixed

 Landscaped

 Undesignated

 High visibility corners

 Through-block connections



Summary of key block frontage types. EXAMPLE

EXAMPLE

	Permitted Frontage	Details
		<ul style="list-style-type: none"> • No new parking adjacent to the street. • Special transparency, window protection, and entry requirements. • Minimum commercial sign height and depth. • No ground floor residential uses except lobbies for upper level units.
	Storefront or Landscape Frontages allowed 	<ul style="list-style-type: none"> • Parking must be to the side or rear of buildings. For multi-building developments, no more than 50% of frontage may be parking. • Landscaping to soften facades of non-storefronts and buffer parking areas. • Minimum facade transparency requirements per use and setback.
		<ul style="list-style-type: none"> • Parking must be to the side or rear of buildings. For multi-building developments, no more than 50% of frontage may be parking. • Landscaping to soften facades and buffer parking areas.
	Storefront or Landscape Frontages allowed but not required	<ul style="list-style-type: none"> • Landscaping to soften facades of non-storefronts and buffer parking areas. • Minimum facade transparency requirements per use and setback.



Parking Lot Location

16. Parking lot location should be determined by block frontage designation:
 - a. Storefront: no parking in along frontage
 - b. Mixed: parking to side or rear of building
 - c. Landscaped: parking to side or rear of building
 - d. Undesignated: no location requirements

1211 Ave D
Snohomish, Washington

Google

Street View



KFC – Example of parking placed to the side of building:
Allowed on “Mixed” designated frontages (if new)

1205 Ave D
Snohomish, Washington

Google

Street View



Example of parking in front of building: Would not be allowed on “Mixed” designated frontages (if new)



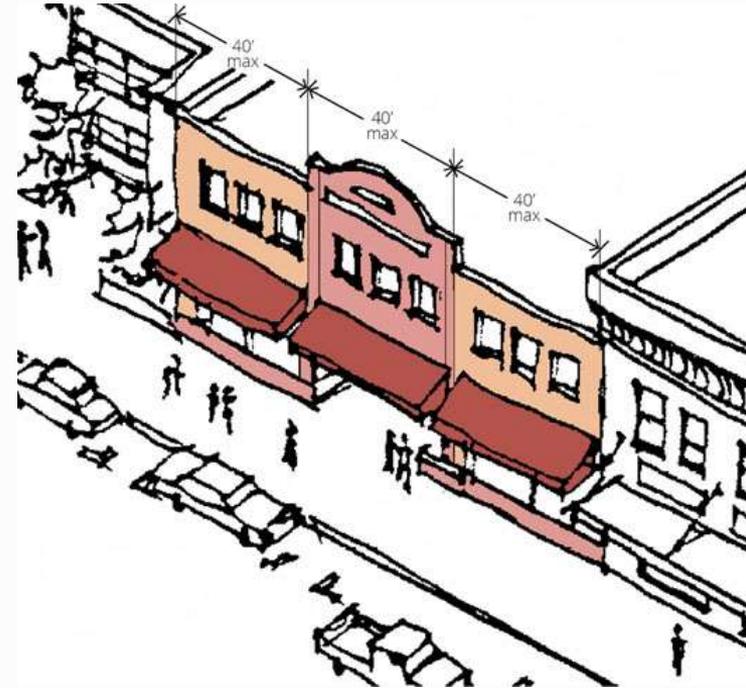
Building Design Regulations

17. Building design regulations should address use of articulation, high-quality exterior materials with an emphasis on brick and wood, and other design details.

Façade Articulation Standards

Commercial facades must include articulation features every 40' max to create a pattern of small storefronts. At least 3 features must be provided every 40':

- Distinctive window patterns or entries
- Use of weather protection features
- Change of roofline
- Use of vertical piers/columns
- Change in building material/siding style
- Other methods



Roof Requirements

18. Roof requirements such as flat/pitched and architectural details should be based on the size of the building.



Corporate Architecture

19. Building design standards should discourage corporate architecture.



01_mcd's_1



02_mcd's_2



03_mcd's_3



05_mcd's_4



06_mcd's_5



07_mcd's_5

Parking Regulations

20. Midtown should have its own unique parking regulations that provide more flexibility and to incentivize new development.

Open Space Requirements

21. Private development should be required to incorporate significant useable open space elements into their site design.

Carleton outdoor recreation area examples.



Image A includes a substantial useable lawn area for informal recreation plus pathways as well as some useable areas for active use such as walking. Image B is a courtyard walkway includes pathways, seating areas, landscaped beds, and some private spaces for a flower ground level patio.



Rooftop deck examples.



Greening Avenue D

22. The Avenue D corridor should be “greened” with more extensive use of landscaping and trees, including evergreen trees and a maintenance program adopted.



Green Building Practices

23. Green building practices and the establishment of electric vehicle charging stations and solar panels should be incentivized.

Welcoming Gateways

24. Welcoming identifying gateways should be established at both ends of Midtown.

Avenue D Traffic Capacity

25. The traffic capacity of Avenue D should be increased.

Bike/Ped Facilities

26. Development of Midtown should include bicycle and pedestrian facility improvements and connections.

Memo to PC

- Overview of memorandum
- Task Force Comments
- Consensus to forward to the Planning Commission

Mayor's Comments

Adjournment

Thank you to the Task Force for all of the time, thought, and hard work you gave to this project!

